

# PROJECT TEAM

**OWNER:** HAMPSTEAD WILLOW SPRINGS PARTNERS, L.P.  
 1350 COLUMBIA STREET, SUITE 802  
 SAN DIEGO, CA 92101  
**CONTACT:**  
 PHONE: 619-543-4200  
 FAX: 619-543-4220

**ARCHITECT:** THE ARCADIA GROUP, INC.  
 1350 COLUMBIA ST., STE. 802  
 SAN DIEGO, CA 92101  
**DESIGNER:** DANIEL GEIGER  
**CONTACT:** ARTHUR M. BALOURDAS, AIA  
 PHONE: 619-543-4200X7551  
 FAX: 619-543-4220  
 EMAIL: ART@HAMPSTEAD.COM

# SCOPE OF WORK SUMMARY

1. RENOVATION OF EXISTING APARTMENT BUILDINGS & UNITS
- ② REPLACEMENT OF WINDOWS & SLIDING GLASS DOORS
- ③ INSTALLATION OF SHADE SHELTER
- ④ CONSTRUCTION OF TRASH ENCLOSURES
- ⑤ DISABLED ACCESS ALTERATIONS OF 10 APARTMENT UNITS
6. DISABLED ACCESS SITE IMPROVEMENTS
- ⑦ NOT USED
8. REPLACEMENT OF KITCHEN CABINETS
9. REPLACEMENT OF LIGHT FIXTURES
- ⑩ REPLACEMENT OF PLUMBING FIXTURES
- ⑪ REPLACEMENT OF HVAC EQUIPMENT
12. REPLACEMENT OF MAILBOXES
13. OTHER MISCELLANEOUS REPLACEMENTS & REPAIRS
- ⑭ ALTERATIONS TO EXISTING LEASING OFFICE

○ PERMIT REQUIRED

# PROJECT INFORMATION & ADDRESS

**ADDRESS:** 4100 WILLOW SPRING  
 MOUNT VERNON, ILLINOIS 62864

**LEGAL DESCRIPTION:** SEE ALTA SURVEY

**ZONING REGULATIONS:** R-3: HIGH DENSITY RESIDENTIAL

**LOT AREA:** 10 AC

	EXISTING RESIDENTIAL BUILDINGS	EXISTING COMMUNITY BUILDING
TYPE OF CONSTRUCTION	VB	VB
BUILDING HEIGHT	12' / 20'	20'-8"
OCCUPANCY	R-2	B/S-2
NUMBER OF STORIES	1 / 2	1
FIRE PROTECTION SYSTEM	NONE	NONE
BUILDING AREA	89,046 SF	1,397 SF

## PARKING:

	EXISTING	PROPOSED
REGULAR SPACES:	149	149
HANDICAPPED SPACES	12	12
TOTAL:	161	161

## UNIT MIX:

50 3-BR / 1.5 BA	945 SF	TOWNHOUSE (2 SENSORY IMPAIRED)
40 2-BR / 1 BA	729 SF	TOWNHOUSE (2 SENSORY IMPAIRED)
10 2-BR / 1 BA ACCESSIBLE	695 SF	FLAT
<b>100 UNITS TOTAL</b>		

# CODE OF DESIGN

1. INTERNATIONAL BUILDING CODE 2006 EDITION
- INTERNATIONAL EXISTING BUILDING CODE 2006 EDITION
2. INTERNATIONAL MECHANICAL CODE 2006 EDITION
3. INTERNATIONAL FIEL GAS CODE 2006 EDITION
4. INTERNATION ENERGY CONSERVATION CODE 2015 EDITION (ADOPTED BY STATE OF IL)

REVISION  
 CLOUD AROUND REVISION  
 OPTIONAL

MATCH LINE  
 SHADED PORTION IS SIDE  
 CONSIDERED

WORK POINT CONTROL POINT  
 OR DATUM POINT

SECTION  
 SECTION IDENTIFICATION  
 SHEET WHERE DETAIL IS DRAWN

DETAIL  
 DETAIL I.D.  
 SHEET WHERE FOUND

INTERIOR ELEVATION  
 INDICATOR

ROOM INDENTIFICATION TYPE 1  
 ROOM NAME  
 ROOM NUMBER

CEILING HEIGHT OTHER  
 THAN TYPICAL

WALL OR PARTITION TYPE

NEW FINISH GRADE

NEW OR FINISHED CONTOURS

EXISTING CONTOURS

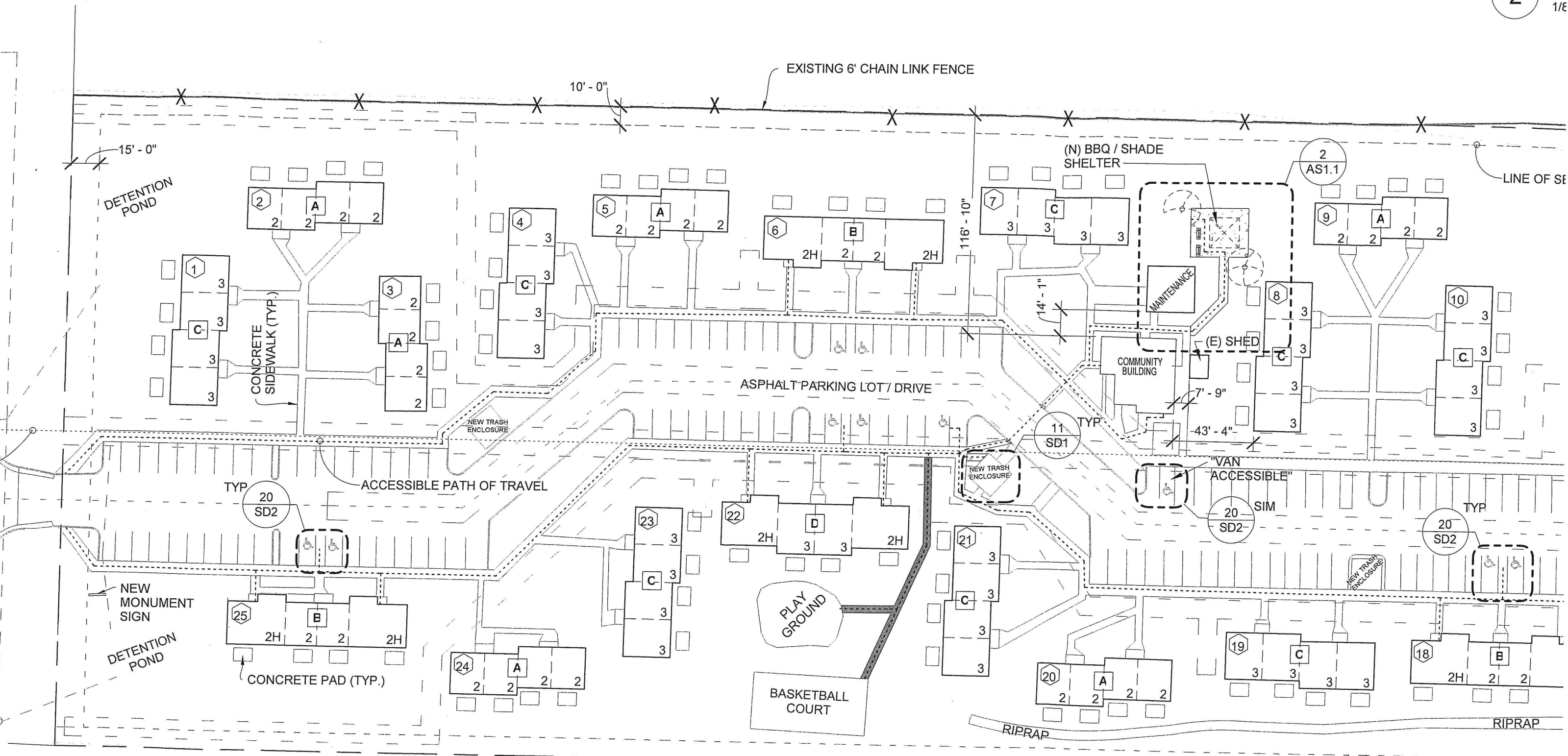
TOP OF WALL

TOP OF CURB



TOP OF PAVEMENT

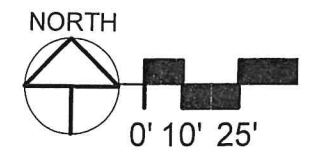
FINISH FLOOR ELEVATION

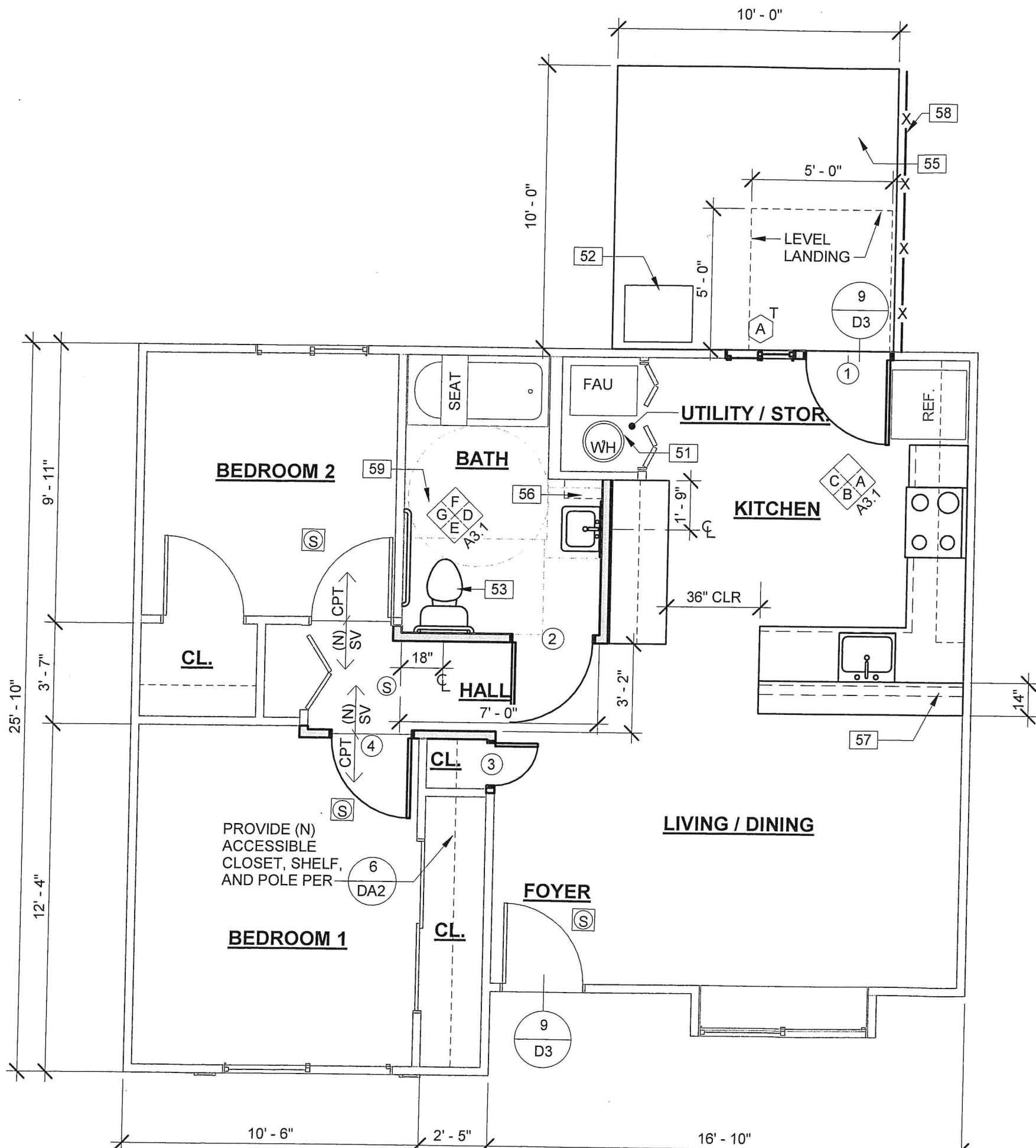
COLUMN LINE/WALL LINE  
 LETTERS (VERTICAL)



**LEGEND**

- 
 ACCESSIBLE ROUTE OVER NEW 48" WIDE CONCRETE WALKWAY - MAX SLOPE 1:20, MAX CROSS SLOPE 2%
- 
 ACCESSIBLE ROUTE OVER EXISTING CONCRETE WALKWAY - MAX SLOPE 1:20, MAX CROSS SLOPE 2%





### KEYNOTE LEGEND

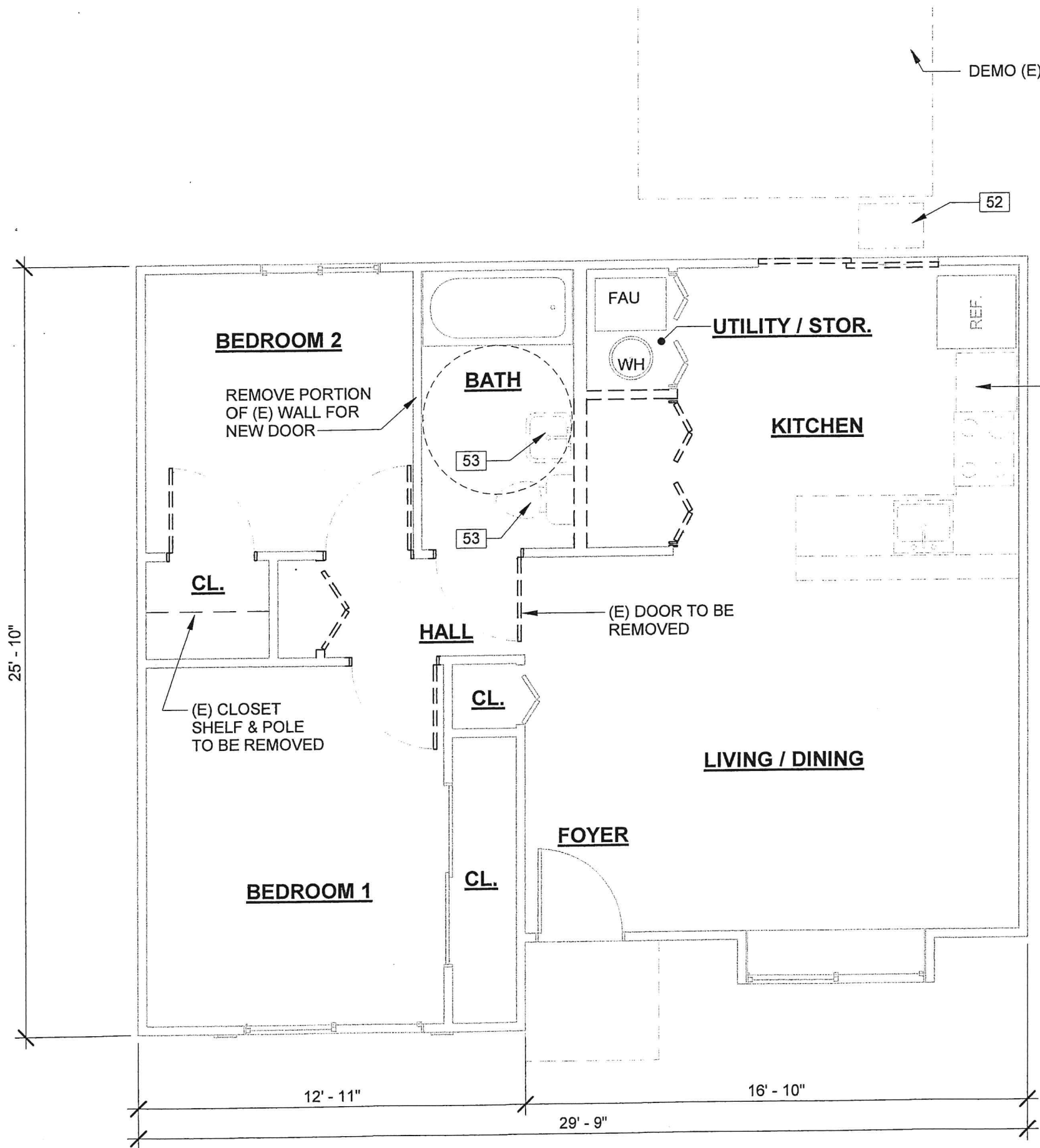
Key Value	Keynote Text
51	NEW FAU & WH TO REPLACE EXISTING PER REPLACEMENT MATRIX, TYP
52	NEW CONDENSER UNIT TO REPLACE EXISTING PER REPLACEMENT MATRIX
53	REPLACE PLUMBING FIXTURES PER REPLACEMENT MATRIX
55	MED BROOM FINISH 4" CONC SLAB W/ #3 @ 18" EW OVER COMPACTED EARTH
56	NEW WALL-MOUNTED MEDICINE CABINET
57	NEW STUD WALL BELOW
58	NEW 5' HIGH VINYL FENCE, TYPICAL
59	AREA OF CLEAR FLOOR SPACE PER UFAS REQUIREMENTS - SEE SHEET DA2 FOR CLEARANCE REQUIREMENTS

## The Arcadia Group Inc.

1350 COLUMBIA STREET  
 SUITE 802  
 SAN DIEGO,  
 CALIFORNIA 92101  
 T. 619/543-4200  
 F. 619/543-4220



**WILLOW SPRINGS APARTMENTS**  
 REHABILITATION  
 4100 WILLOW SPRING  
 MT VERNON, ILLINOIS



DEMO (E) CONC. PATIO

52

**BEDROOM 2**

REMOVE PORTION OF (E) WALL FOR NEW DOOR

**BATH**

53

53

**UTILITY / STOR.**

FAU

WH

REF.

**KITCHEN**

(E) SINK, COUNTERTOP, CABINETS, AND APPLIANCES TO BE REMOVED

CL.

(E) CLOSET SHELF & POLE TO BE REMOVED

**HALL**

(E) DOOR TO BE REMOVED

CL.

**LIVING / DINING**

**FOYER**

CL.

**BEDROOM 1**

12' - 11"

29' - 9"

16' - 10"

25' - 10"

**WALL LEGEND**

——— EXISTING WALLS TO REMAIN

- - - EXISTING NON-BEARING WALLS, DOORS, FIXTURES, MILLWORK TO BE DEMOLISHED

▬▬▬ NEW PARTITIONS

**NOTE:** ALL NEW INTERIOR SWING DOORS SHALL BE 2'-10" x 6'-8" MIN SIZE

**NOTES**

1. EVERYTHING SHOWN IS EXISTING UNLESS OTHERWISE NOTED
2. FLOORS AT ACCESSIBLE UNITS ARE SLAB ON GRADE CONSTRUCTION

**SMOKE ALARMS:**

- Ⓢ EXISTING HARD-WIRED SMOKE ALARM TO BE REPLACED WITH HARD WIRED DETECTOR WITH BATTERY BACK-UP
  - Ⓢ NEW 10-YEAR BATTERY POWERED SMOKE ALARM
1. ALL ALARMS WITHIN A DWELLING UNIT SHALL BE INTERCONNECTED SO THAT UPON ACTIVATION ALL ALARMS ARE ACTIVATED. INTERCONNECTION SHALL BE WIRED OR WIRELESS.
  2. SEE SHEET PE1 FOR ACCESSIBLE UNITS

**CONSTRUCTION DOCUMENTS**

**TYPICAL UNIT FLOOR PLANS**

Date 11/20/2019 2:17:23 PM

A1.3

Scale 1/4" = 1'-0"

**TYPICAL 2-BR ACCESSIBLE UNIT DEMO PLAN**

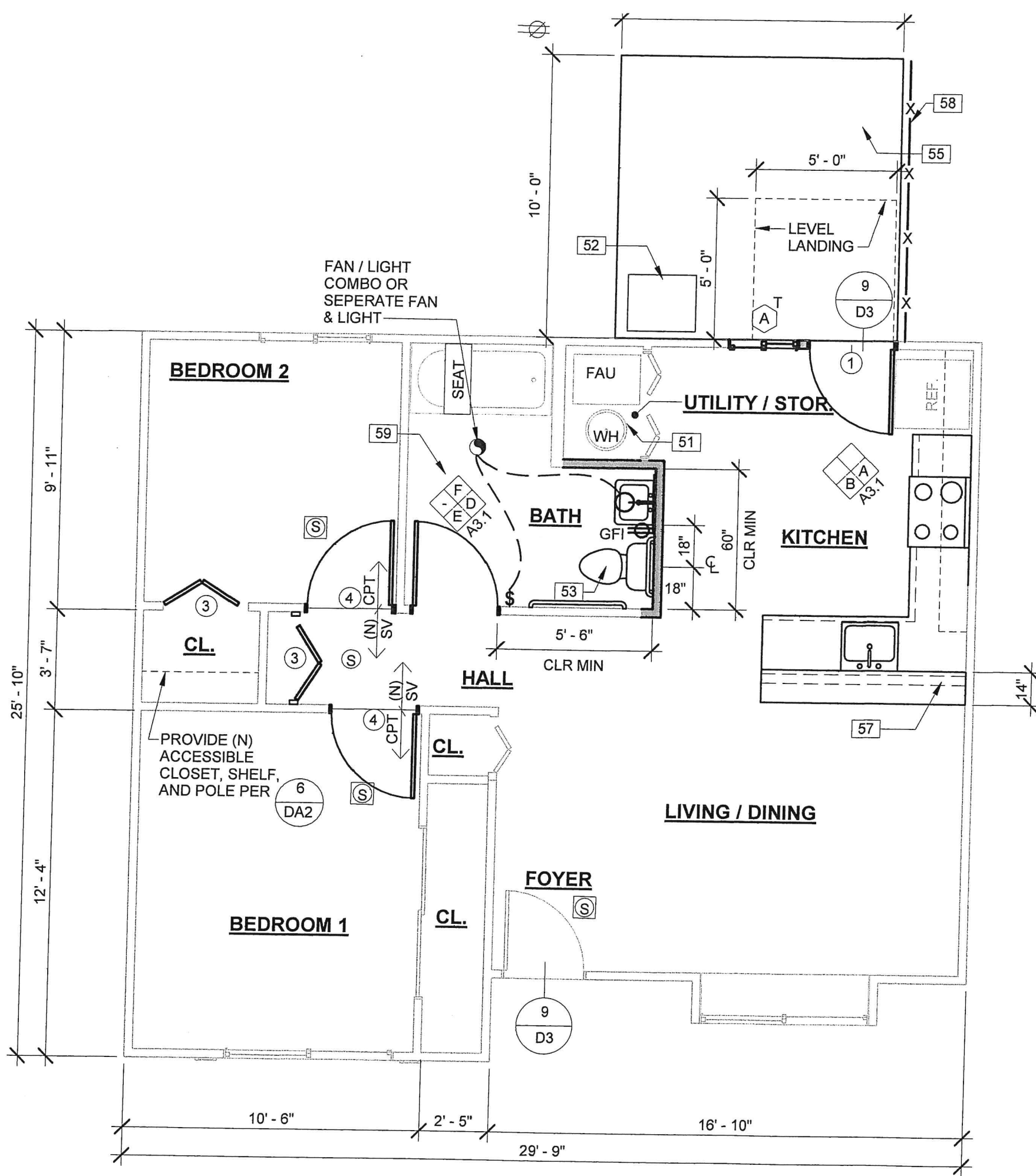
1/4" = 1'-0"

# The Arcadia Group Inc.

1350 COLUMBIA STREET  
SUITE 802  
SAN DIEGO,  
CALIFORNIA 92101  
T. 619/543-4200  
F. 619/543-4220



**WILLOW SPRINGS  
APARTMENTS**  
REHABILITATION  
4100 WILLOW SPRING  
MT VERNON, ILLINOIS



## KEYNOTE LEGEND

Key Value	Keynote Text
51	NEW FAU & WH TO REPLACE EXISTING PER REPLACEMENT MATRIX, TYP
52	NEW CONDENSER UNIT TO REPLACE EXISTING PER REPLACEMENT MATRIX
53	REPLACE PLUMBING FIXTURES PER REPLACEMENT MATRIX
55	MED BROOM FINISH 4" CONC SLAB W/ #3 @ 18" EW OVER COMPACTED EARTH
57	NEW STUD WALL BELOW
58	NEW 5' HIGH VINYL FENCE, TYPICAL
59	AREA OF CLEAR FLOOR SPACE PER UFAS REQUIREMENTS - SEE SHEET DA2 FOR CLEARANCE REQUIREMENTS